

RESIDENTIAL ADDITION CHECKLIST
PLAN SUBMITTAL & PLAN CHECK MINIMUM REQUIREMENTS
*****CITY OF GRANTS PASS----541-450-6060*****

SUBMITTAL OPTION 1: ELECTRONIC VIA THE BUILDING DIVISION PAGE ON OUR WEBSITE
WWW.GRANTSPASSOREGON.GOV (*Applications received after hours will be reviewed the next business day during regular business hours*)

SUBMITTAL OPTION 2: OVER THE COUNTER VIA THUMB/FLASH DRIVE DURING REGULAR SUBMITTAL
HOURS: MON – FRI 8:00 – 10:00 AM & 2:00 – 4:00 PM, 101 NW A ST. ROOM 202

- COMPLETE, LEGIBLE, & DRAWN TO SCALE SITE **AND** BUILDING PLAN (8 ½ X 11 MINIMUM)*
- SEPARATE 8 ½ X 11 **SITE PLAN ONLY** (reductions acceptable)*
- WRITTEN SCOPE OF WORK (outlining the work to be done – **INCLUDING** how new rooms are to be heated)
- TRUSS SHEETS w/LAYOUT and any required STRUCTURAL CALCS
- SIGNED PERMIT AUTHORIZATION FORM (if applicant is not the owner)
- MOISTURE CONTENT & HIGH-EFFICIENCY INTERIOR LIGHTING SYSTEM ACKNOWLEDGEMENT FORM (section A)
- ENERGY EFFICIENCY ADDITIONAL MEASURES FORM
- IMPERVIOUS SURFACE CALCULATIONS FORM
- ELECTRICAL ACKNOWLEDGMENT FORM (signed by the Supervising Signing Electrician or signature of the Owner in section 2A or 2B of the ELECTRICAL PERMIT APPLICATION form).
- COMPLETE LIST OF SUBCONTRACTORS INCLUDING CCB#’S AND BCD#’S (if applicable)
- PLAN REVIEW FEE

*ALL DRAWINGS / DETAILS SHALL BE DRAWN TO SCALE & THE SCALE NOTED BY EACH DRAWING / DETAIL.

*ALL FORMS MENTIONED ABOVE CAN BE FOUND ON THE “DOCUMENTS, FORMS & FEE SCHEDULES” PAGE (under Community Development Department) OF THE CITY OF GRANTS PASS WEBSITE www.grantspassoregon.gov

PLAN CHECK REQUIREMENTS:

***THE FIRST SHEET OF THE PLANS SHALL INCLUDE:**

- NAME, ADDRESS & PHONE NUMBER OF APPLICANT, PERSON WHO PREPARED PLANS, & **PROPERTY OWNER.**
- THE ADDRESS OF PROPERTY OR MAP & TAX LOT NUMBER.
- THE SITE PLAN (DRAWN TO SCALE—SEE BELOW). *Note: a site plan is required to show the change in the footprint or height of the existing house or changing the use of a garage, carport, or patio.*

***THE SITE PLAN SHALL INCLUDE:**

- ALL PROPERTY LINES, DIMENSIONS, SETBACKS, AND NORTH ARROW.
- SCALE** (e.g.; ENGINEER’S SCALE---1:10, 1:20 ...etc. or commonly used scale) **SITE PLAN MUST BE DRAWN TO SCALE**
- NAMES OF ADJACENT STREETS

- ❑ **FOOTPRINTS OF ALL EXISTING & PROPOSED STRUCTURES** SHOWING THEIR SIZE & THEIR DISTANCE FROM PROPERTY LINES & OTHER STRUCTURES.
- ❑ **INDICATE AREA ON BUILDING FOOTPRINT TO BE ALTERED.**
- ❑ INDICATE ALL PROJECTIONS THAT EXCEED 24" FROM EXTERIOR WALLS, INCLUDING OVERHANGS, BAY WINDOWS, PORCHES, PATIO COVERS, ETC.
- ❑ LOCATION OF EXISTING OR PROPOSED **SEWER & WATER** LINES (WELL & SEPTIC TANK/DRAINFIELD IF APPLICABLE).
- ❑ LOCATION OF ALL EASEMENTS (UTILITY, DRIVEWAY, ETC.)
- ❑ LOCATION, SURFACE TYPE & DIMENSIONS OF DRIVEWAY & SIDEWALKS.
- ❑ INDICATE **DRAINAGE** OF ROOF & SURFACE WATER FROM BUILDING TO STREET OR APPROVED LOCATION.
- ❑ INDICATE HEIGHT OF STRUCTURES INCLUDING PITCH OF ROOF.
- ❑ INDICATE ANY WATER WAYS & WETLANDS AREAS ON PROPERTY.
- ❑ INDICATE **PROPOSED SPOT ELEVATIONS** OR 2FT CONTOURS EXTENDING MINIMUM 5FT OUT FROM THE 4 MAIN CORNERS OF BLDG.
- ❑ FOR LOTS IN THE **STEEP SLOPE DISTRICT**: PROVIDE EXISTING & PROPOSED CONTOURS AT 2FT INCREMENTS FOR ENTIRE SITE & DRIVEWAY, EXTENDING AT LEAST 5FT BEYOND PROPERTY LINES. (A STEEP SLOPE REPORT, EROSION CONTROL PLAN & GRADING PLAN **SPECIFIC** FOR THIS LOT WITH **FOUNDATION RECOMMENDATIONS** FROM AN ENGINEER **MUST** ACCOMPANY PLAN SUBMITTAL.)

***THE BUILDING PLANS SHALL INCLUDE:**

A) FOUNDATION PLAN:

- ❑ INDICATE SIZE & LOCATION OF ALL FOOTING TYPES, POSTS, GIRDERS, HOLD-DOWNS & STRAPS
- ❑ INCLUDE DETAILS (WITH SCALE INDICATED) OF EACH NEW FOOTING TYPE & RETAINING WALL TO BE USED SHOWING: SIZE, REINFORCING, WALL HEIGHT & FRAMING CONNECTIONS.
- ❑ PROVIDE DESIGN CALCULATIONS FOR BASEMENT WALLS AND/OR SPECIAL FOOTINGS.
- ❑ THE 1ST FLOOR FRAMING LAYOUT OF THE ADDED AREA MAY BE INDICATED ON THE FOUNDATION PLAN

B) FLOOR PLAN:

- ❑ SHOW **ENTIRE FLOOR PLAN LAYOUT** OF EXISTING RESIDENCE WITH DETAILED DIMENTIONED LAYOUT OF ADDITION OR REMODELED AREA (1/4" SCALE PREFERRED)
- ❑ INDICATE NEW ROOM SQUARE FOOTAGES.
- ❑ **IDENTIFY & LABEL USE & SIZE OF EACH NEW ROOM PLUS ALL ADJACENT EXISTING ROOMS.**
- ❑ INDICATE DIMENSION OF ALL NEW BUILDING SIDES & INTERIOR WALL LOCATIONS.
- ❑ **INDICATE ALL NEW WINDOW & DOOR SIZES PLUS ALL WINDOWS & DOORS REMOVED FROM EXISTING WALLS TO ACCOMMODATE REMODEL/ADDITION.**
- ❑ SHOW LOCATIONS OF ALL REQUIRED **SMOKE DETECTORS**.
- ❑ SHOW LOCATIONS OF ALL NEW **APPLIANCES**, MECHANICAL EQUIPMENT, FIREPLACE OR WOOD STOVE AND **INDICATE IF ELECTRIC OR GAS**.
- ❑ SHOW NEW ROOM LIGHTING, OUTLETS, FANS & EXHAUST VENTS.

C) BUILDING ELEVATIONS:

- ❑ SHOW **ALL THREE NEW BUILDING ELEVATIONS** (DRAWN TO SCALE) INDICATING ACCURATE DOOR & WINDOW LOCATIONS, ROOF HEIGHT & PITCH, ARCHITECTURAL DETAIL/MATERIALS, ROOF & BUILDING PROJECTIONS & SIZES, CHIMNEY/FLUE, ETC. (INCLUDE EXISTING BUILDING ELEVATION FOR A MINIMUM OF 10FT TO SHOW HOW ADDITION TIES INTO EXISTING STRUCTURE).
- ❑ SHOW FINISHED GRADE LINE AT FOUNDATION FOR EACH BUILDING ELEVATION, EXTENDING A MIN OF 5FT FROM BLDG.
- ❑ FOR STEEP SLOPE LOTS SHOW EXISTING & PROPOSED CONTOURS EXTENDING MIN OF 5 FT FROM BUILDING.
- ❑ LABEL EACH ELEVATION (FRONT, REAR, LEFT, RIGHT, NORTH, EAST, SOUTH, WEST, ETC).

D) FLOOR FRAMING LAYOUT:

- ❑ PROVIDE A PLAN FOR NEW OR ALTERED FRAMED FLOOR AREA.
- ❑ INDICATE LOCATION & SIZES OF ALL NEW POSTS & BEAMS, & SHOW NEW JOIST SIZES & SPACING.
- ❑ INDICATE ALL NEW POST & BEAM CONNECTIONS.

E) ROOF/CEILING FRAMING LAYOUT:

- ❑ INDICATE LOCATION, SPACING & SIZES OF ALL NEW RAFTERS & CEILING JOISTS OR ROOF TRUSSES (provide truss calcs or note on plans that truss calcs will be supplied at time of roof framing inspection)
- ❑ INDICATE HEADERS SIZES FOR ALL NEW DOOR & WINDOW LOCATIONS.

F) BUILDING SECTIONS:

- ❑ PROVIDE A BUILDING SECTION OF ALL ADDITION AREAS SHOWING ALL NEW FOUNDATION & FRAMING COMPONENTS INCLUDING, BUT NOT LIMITED TO: FLOORS, WALLS & ROOF SYSTEM, PLUS WALL & CEILING HEIGHT, INSULATION IN FLOOR, WALLS & CEILING, MAIN STRUCTURAL MEMBERS, SHEATHING, SIDING, ROOFING AND BRACING.
- ❑ FOR TWO STORY STRUCTURES: INCLUDE A COMPLETE STAIR SECTION INDICATING STAIR RISE & RUN, HEADROOM CLEARANCE, FRAMING & SUPPORT MEMBERS & HANDRAIL/GUARDRAIL DETAILS.
- ❑ INCLUDE ANY ADDITIONAL FRAMING SECTION OR DETAIL NEEDED TO DEMONSTRATE ANY UNIQUE FRAMING CONDITION OF THE REMODEL OR ADDITION.

G) ENGINEERING WILL BE REQUIRED FOR: Any structural changes and a lateral plan may be required (refer to 2021 ORSC (Oregon Residential Specialty Code) section R301.2.2.6 and R602.10)

- ❑ PLEASE NOTE: ALL CALCULATIONS, ENGINEERED SHEETS / DETAILS MUST BE WET SIGNED BY THE ENGINEER OR DESIGN PROFESSIONAL OF RECORD.

THE PLANS MUST BE COMPLETE ACCORDING TO THIS CHECKLIST IN ORDER TO BE ACCEPTED & REVIEWED. PLEASE FOLLOW THIS CHECKLIST AS A GUIDE WHEN PREPARING YOUR PLANS. ONLY COMPLETE PLANS WILL BE ACCEPTED.

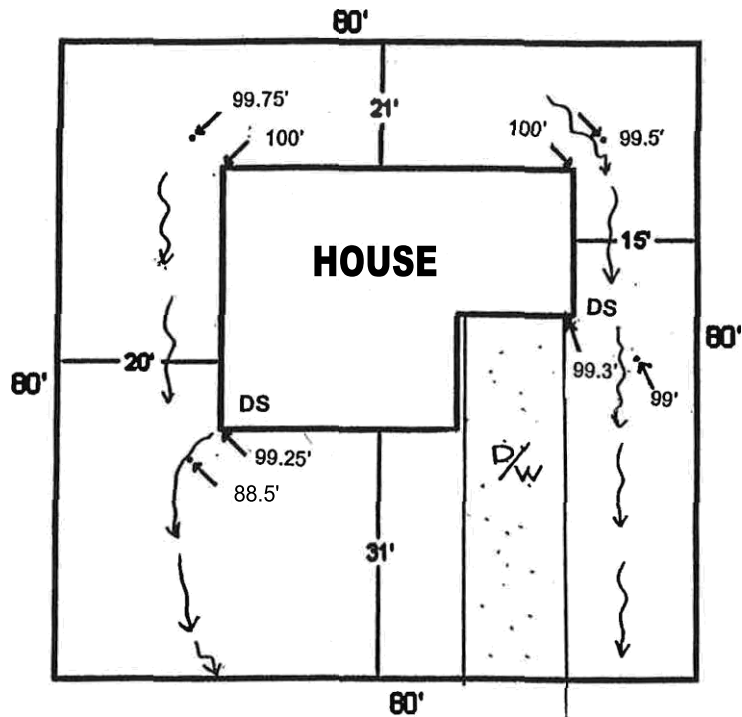
PLEASE NOTE: ALL CONSTRUCTION WORK DONE ON RESIDENCES THAT ARE NOT THE PRIMARY RESIDENCE OF THE PROPERTY OWNER MUST BE DONE BY A LICENSED OREGON CONTRACTOR WITH A CURRENT CITY OF GRANTS PASS BUSINESS TAX.

ALL BUILDING PLANS & CALCULATIONS MUST COMPLY WITH THE LATEST EDITIONS OF THE OREGON STATE RESIDENTIAL CODES.

EXAMPLE: SITE DRAINAGE & SPOT ELEVATIONS

(THIS INFORMATION IS TO BE ADDED TO THE SUBMITTED SITE PLAN)

1' = 20'



DS = DOWNSPOUT

- SURFACE WATER DIRECTION

99.5' = SPOT ELEVATION